

OWNER'S CERTIFICATION OF INTENT
NAME OF CORPORATION (LLC, INC.)

COMMONWEALTH OF PENNSYLVANIA
SS. COUNTY OF BUCKS

ON THE _____ DAY OF _____, 20____, _____, NAME OF PERSON, _____, TITLE _____, OF M&B ASSOCIATES, LLC, _____, WHO ACKNOWLEDGED HIMSELF/HERSELF TO BE _____, TITLE _____, OF M&B ASSOCIATES, LLC, _____, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING PLAN, AND DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

(SEAL)

WE, M & B ASSOCIATES, LLC, HAVE LAID OUT UPON OUR LAND, SITUATE IN THE TOWNSHIP OF LOWER MORELAND, MONTGOMERY COUNTY, AND DESIRE THIS PLAN BE RECORDED.

NAME OF CORPORATION

BY: _____

NAME: _____

TITLE: _____

LOWER MORELAND BOARD OF COMMISSIONERS

APPROVAL OF THE LOWER MORELAND TOWNSHIP BOARD OF COMMISSIONERS:
THIS LAND DEVELOPMENT PLAN WAS APPROVED BY RESOLUTION OF THE LOWER MORELAND BOARD OF COMMISSIONERS THIS THIS _____ DAY OF _____, 20____.

ATTEST: _____

SECRETARY _____ PRESIDENT _____

LOWER MORELAND TOWNSHIP PLANNING COMMISSION

APPROVAL OF THE LOWER MORELAND TOWNSHIP PLANNING COMMISSION:
THIS SUBDIVISION (LAND DEVELOPMENT) PLAN WAS APPROVED BY THE LOWER MORELAND TOWNSHIP PLANNING COMMISSION ON THIS _____ DAY OF _____, 20____.

ATTEST: _____

SECRETARY _____ PRESIDENT _____

TOWNSHIP ENGINEER

REVIEW BY THE TOWNSHIP ENGINEER, LOWER MORELAND TOWNSHIP:
THIS SUBDIVISION (LAND DEVELOPMENT) PLAN WAS REVIEWED BY THE APPOINTED TOWNSHIP ENGINEER FOR LOWER MORELAND TOWNSHIP ON THIS _____ DAY OF _____, 20____.

SIGNATURE _____

MONTGOMERY COUNTY PLANNING COMMISSION

M.C.P.C. FILE # _____

PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.

CERTIFIED THIS DATE _____

EXECUTIVE DIRECTOR, MONTGOMERY COUNTY PLANNING COMMISSION

RECORDER OF DEEDS NOTATION

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN MONTGOMERY COUNTY, PENNSYLVANIA, IN PLAN BOOK _____, PAGE _____, ON THE _____ DAY OF _____, 20____.

PROFESSIONAL LAND SURVEYOR CERTIFICATION

I, Robert L. Showalter _____, SU-1117-A _____, (NAME OF PROFESSIONAL SURVEYOR) (REGISTRATION NUMBER)

DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE EXISTING FEATURES, TOPOGRAPHY, AND METES AND BOUNDS SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICES FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS IN JULY OF 1996 (OR AS SUBSEQUENTLY ADOPTED), A FIELD SURVEY WAS PERFORMED UNDER MY IMMEDIATE SUPERVISION AND ALL MONUMENTS AND/OR LOT PINS SHOWN, EXIST AS INDICATED OR SHALL BE PLACED AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE _____

DATE _____

PROFESSIONAL ENGINEER CERTIFICATION

I, WAYNE R. KIEFER _____, PE-053680-E _____, (NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)

DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING ORDINANCE AND THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF THE MUNICIPALITY AS LAST AMENDED; ALL SUCH SUBDIVISION AND LAND DEVELOPMENT WAIVERS AND ZONING VARIANCES GRANTED, AS LISTED ON THE RECORD PLAN REQUIREMENTS; AND BUILDING, WATER, SEWER, AND ALL OTHER APPLICABLE ORDINANCES AND REGULATIONS OF HORSHAM TOWNSHIP, AS LAST AMENDED.

SIGNATURE _____

DATE _____

STORMWATER MANAGEMENT MAINTENANCE ACKNOWLEDGEMENT:

THE DETENTION BASINS (AS SHOWN ON THE PLAN) ARE PERMANENT FACILITIES AND SHALL NOT BE MODIFIED OR REMOVED UNLESS PRIOR APPROVAL IS GRANTED BY LOWER MORELAND TOWNSHIP. THE INDIVIDUAL LOT OWNER OR OWNERS AND/OR HOA, HIS/HER SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL GRADES AND ELEVATIONS OF SUCH FACILITIES, AND SHALL DO NOTHING TO ALTER OR DAMAGE SAME OR OTHER BASIN STRUCTURES AND DEVICES. THESE RESPONSIBILITIES SHALL INCLUDE ROUTINE LAWN CARE, REMOVAL OF ORDINARY INNOCUOUS DEBRIS THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BASINS, AND MAINTENANCE OF THE STRUCTURAL INTEGRITY AND REPAIR OF ALL OUTLET PIPES, WALL STRUCTURES, AND OTHER PERMANENT STRUCTURAL DEVICES. LOWER MORELAND TOWNSHIP SHALL HAVE PERPETUAL EASEMENTS ON AND OVER THE AREAS OF THE DETENTION BASINS FOR THE PURPOSE OF EMERGENCY MAINTENANCE AND REPAIR OF SAID PERMANENT FACILITIES. THE AFORESAID RESPONSIBILITIES OF THE INDIVIDUAL LOT OWNERS SHALL BE SUBJECT TO ENFORCEMENT BY LOWER MORELAND TOWNSHIP. IN THE EVENT THAT THE OWNER FAILS TO HONOR THE RESPONSIBILITY SET FORTH HEREIN, IN ANY MANNER, LOWER MORELAND TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY UPON AND WITHIN THE AREA OF THE BASINS TO UNDERTAKE SUCH CORRECTIVE OR MAINTENANCE EFFORTS. THE COST OF SUCH, AS WELL AS ADMINISTRATIVE, ENGINEERING, AND LEGAL COSTS FOR ENFORCEMENT, MAY BE IMPOSED UPON THE RESPONSIBLE LOT OWNERS, AS DETERMINED AND ASSESSED BY LOWER MORELAND TOWNSHIP. FAILURE TO REMEDY ALL ASSOCIATED COSTS DESCRIBED, MAY BE SUBJECT OF THE IMPOSITION OF A LIEN BY THE TOWNSHIP AGAINST THE LOT OR LOTS IN QUESTION, IN THE SAME MANNER AS THE TOWNSHIP MIGHT OTHERWISE BE EMPOWERED BY LAW TO ASSESS OR OPPOSE A LIEN AGAINST A PROPERTY FOR MUNICIPAL IMPROVEMENTS.

WAIVER REQUESTS:

WAIVERS ARE REQUESTED FROM THE FOLLOWING REQUIREMENTS OF THE LOWER MORELAND SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

180-30 _____ TO NOT REQUIRE THE DEDICATION OF THE ULTIMATE RIGHT-OF-WAY OF COUNTY LINE ROAD (120') OR THE CONSTRUCTION OF CURB AND SIDEWALK ALONG COUNTY LINE ROAD.

GENERAL NOTES:

- EXISTING FEATURES FROM A SURVEY BY R.L. SHOWALTER & ASSOC. CONDUCTED DECEMBER 2020.
- PROPERTY OUTBOUND FROM A PLAN TITLED "PLAN OF PROPERTY MADE FOR MARK HANKIN" PREPARED BY CHARLES E. SHOEMAKER, DATED DECEMBER 10, 1973, LAST REVISED MARCH 11, 1974. M.C.P.C. SUBDIVISION NUMBER 73-421, RECORDED MARCH 19, 1974.
- ELEVATIONS BASED ON NAVD 88 DATUM.
- LEGAL RIGHT-OF-WAY FOR COUNTY LINE ROAD BASED ON PENNDOT RIGHT-OF-WAY RECORDS.



OWNER APPLICANT

M&B ASSOCIATES
1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

ZONING

ZONING DISTRICT: B-IND BUSINESS INDUSTRIAL DISTRICT
EXISTING/PROPOSED USE: WHOLESALE, DURABLE GOODS (423)
PARCEL ID#41-00-02425-53-1
DB 5990-00459

TOTAL PROPERTY AREA:	66,222 SF. (1.52 AC.)
LESS LEGAL ROW COUNTY LINE RD.	6,636 SF. (0.15 AC.)
EXISTING SITE AREA:	59,586 SF. (1.37 AC.)
LESS ULTIMATE ROW COUNTY LINE RD.	15,817 SF. (0.36 AC.)
BASE SITE AREA:	43,769 SF. (1.00 AC.)

MIN. LOT AREA (BSA):	REQUIRED 10,000 SF	EXISTING 59,586 SF	PROPOSED 43,769 SF
MIN. LOT WIDTH:	125 FT.	391 FT.	391 FT.
-YARDS-			
MIN. FRONT:	50 FT.	*29.9 FT.	*29.9 FT.
MIN. SIDE:	8 FT./20 AGG.	10.1 FT.	10.1 FT.
MIN. REAR:	20 FT.	20.1 FT.	20.1 FT.
MAX. BUILDING HEIGHT:	50 FT.	<35 FT.	<35 FT.
MAX. BUILDING COVERAGE:	60%	20%	33%
MAX. IMPERVIOUS COVER:	85%	64%	84%

* EXISTING NON-CONFORMITY

	TOTAL EXIST. IMP. (SF)	IMP. TO BE REMOVED (SF)	EXIST. IMP. TO REMAIN (SF)	PROPOSED NEW IMP. (SF)	TOTAL PROP. IMP. (SF)
Building	11,984		11,984	7,600	19,584
Macadam, Concrete	16,034	4,414	11,620	5,399	17,019
					0
					0
TOTAL IMPERVIOUS AREA:	28,018	4,414	23,604	12,999	36,603
TOTAL LOT AREA(NET):	43,769				
EXISTING IMPERVIOUS RATIO	64.0%				
PROPOSED IMPERVIOUS RATIO	83.6%				

PARKING REGULATIONS:

WHOLESALE-1 SPACE/2000 SF GFA

REQUIRED	EXISTING	PROPOSED
6 SPACES	8 SPACES	10 SPACES

LEGEND	
	BOUNDARY LINE
	ADJ. BOUNDARY
	ROW (ULTIMATE & LEGAL)
	PROPERTY SETBACK LINE
	EXISTING CONTOUR INTERVAL
	EXISTING CONTOUR INDEX
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING GAS MAIN
	EXISTING OVERHEAD ELECTRIC
	EXISTING SOILS
	IRON PIN FOUND
	CONC. MONUMENT FOUND
	EXISTING UTIL. POLE
	EXISTING WATER VALVE
	EXISTING SANITARY MANHOLE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.



1-800-242-1776

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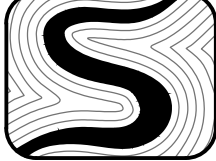
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NO.	DATE	COMMENT
REVISIONS		

EROS WHOLESALE

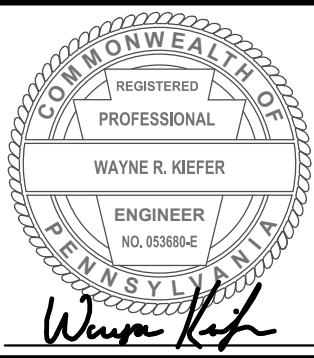
SITE PLAN

R. L. Showalter & Associates, Inc.



116 East Butler Avenue
Chafford, PA. 18914
(215) 822-2990
FAX (215) 822-5684

• Engineering • Planning • Surveying •

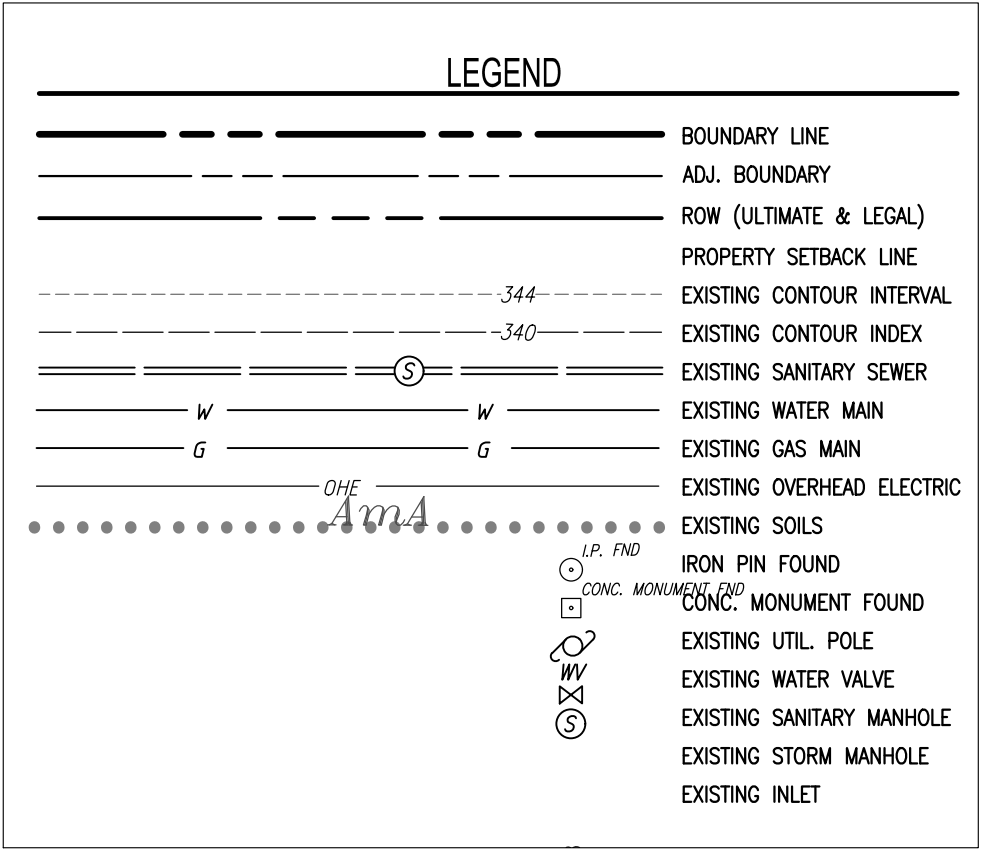


SCALE: 1" = 20'
DATE: 2/25/2021
JOB NO.: 2020-081
DRAWN BY: LAZ
CHECKED BY: WK

SITUATE: LOWER MORELAND TOWNSHIP MONTGOMERY COUNTY, PA.
PREPARED FOR: M&B ASSOCIATES
1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

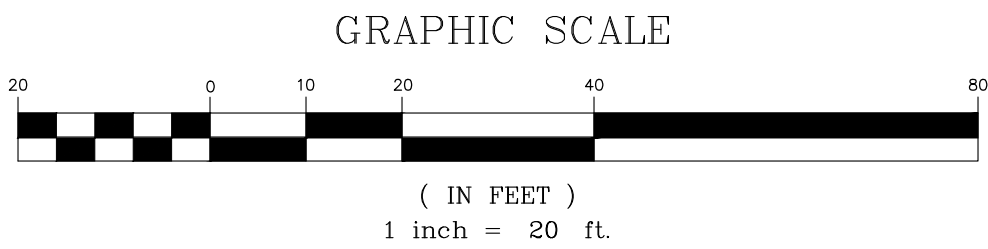
SHEET

1 of 10



SOILS			
SYMBOL	NAME	HSG	FARMLAND CLASSIFICATION
<i>U_{usD}</i>	URBAN LAND-UDORTHENTS SHALE & SANDSTONE COMPLEX, 8-25%	A	NOT PRIME
<i>U_{gB}</i>	URBAN LAND, 0-8% SLOPES		NOT PRIME

SOIL INFORMATION BASED ON USDA WEB SOIL SURVEY - SOIL SURVEY AREA
OF BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 15, JUNE 5,
2020.



PA ONE CALL LOWER MORELAND TOWNSHIP			
20203170738			
USER NAME	ADDRESS	CONTACT	RESULTS
AQUA PA	762 W LANCASTER AVE BRYN MAWR, PA. 19010	STEVE P RZ21 SBRPZ2@AQUA-AMERICA.COM	PLAN RECD
BOW&S	1275 ALSHOUSE RD WARINGTON, PA. 18976	JAMES NAPOLEON CHRISTOPHER HOFFMAN	CLEAR
LOWER MORELAND TOWNSHIP	840 RED LION RD HUNTINGDON VALLEY PA. 19006	CHOFFMAN@LOWERMORELAND.ORG	MARKED
COMCAST CABLE COMMUNICATIONS	4400 WAYNE AVE PHILADELPHIA, PA 19140	BOB HARVEY BOB_HARVEY@CABLE.COMCAST.COM	CLEAR
ZAYO BANDWIDTH	1060 HARDEES DR UNIT H ABERDEEN MARYLAND 21001	GEORGE HUSS GEORGE.HUSS@ZAYO.COM	CLEAR
PECO	450 S. HENDERSON RD. KING OF RUSSIA, PA. 19006	NIKKA SIMPSON SIMPSON@USCLCC.COM	PLANS RECEIVED

PA ONE CALL

ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 121, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW", (AMENDS PENNSYLVANIA ACT 287 AND REPLACES PENNSYLVANIA ACT 172). ANY INFORMATION APPEARING ON THESE DRAWINGS AS TO THE UNDERGROUND LINES OF A USER, SUCH AS A PUBLIC UTILITY, HAS BEEN INCORPORATED HEREON PURSUANT TO SAID PENNSYLVANIA ACT 121. THIS INFORMATION HAS BEEN PROVIDED BY THE RESPECTIVE USERS IN RESPONSE TO THE PA ONE CALL SYSTEM REFERENCE SERIAL #J20203170738, PER WEB TICKET ON 12-2-2020.

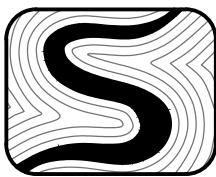
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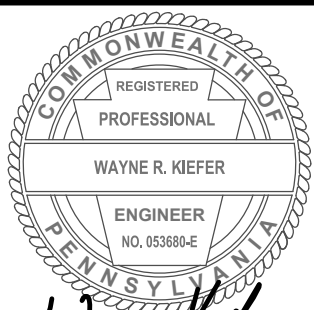
NO.	DATE	COMMENT
R E V I S I O N S		

EXISTING FEATURES & DEMO PLAN

**R. L. Showalter
& Associates, Inc.**



116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684



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SITUATE: LOWER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA.
PREPARED FOR:
M&B ASSOCIATES
1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

SHEET
2 OF 10

Plotdate: 02/24/21 - 6:37 PM By: wklafer
File: F:\DWG\2020\2020-081 - County Line RA\ENGINEERING\2020-081_BASE.DWG-03 - Grading
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CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING
DAYS NOTICE FOR CONSTRUCTION PHASE
AND 10 WORKING DAYS IN DESIGN
STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
 **1-800-242-1776**

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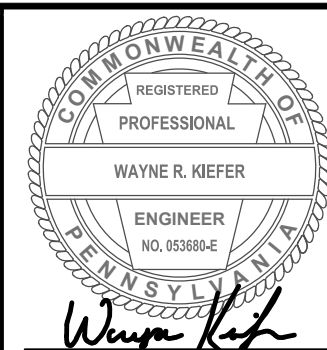
NO.	DATE	COMMENT
REVISIONS		

EROS WHOLESALE

GRADING PLAN

R. L. Showalter & Associates, Inc.

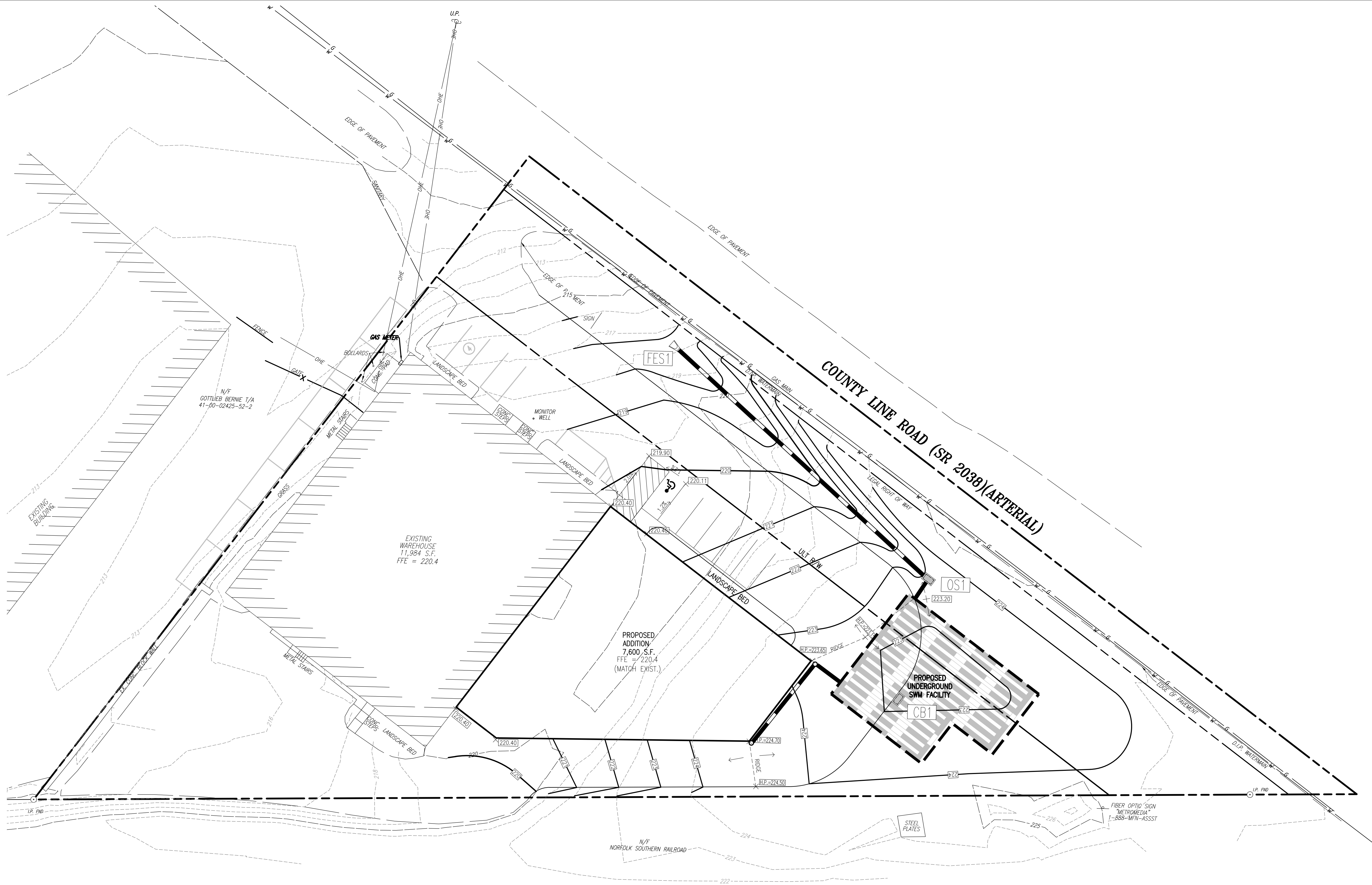
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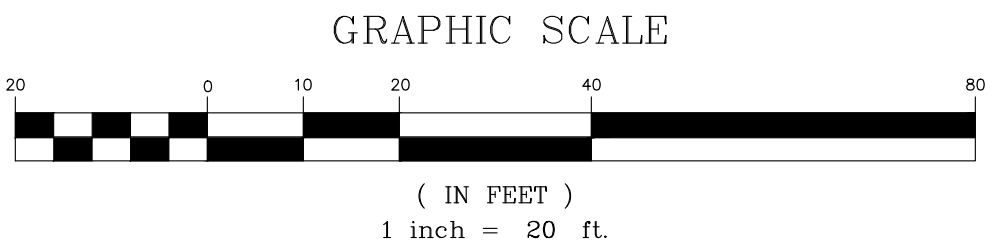
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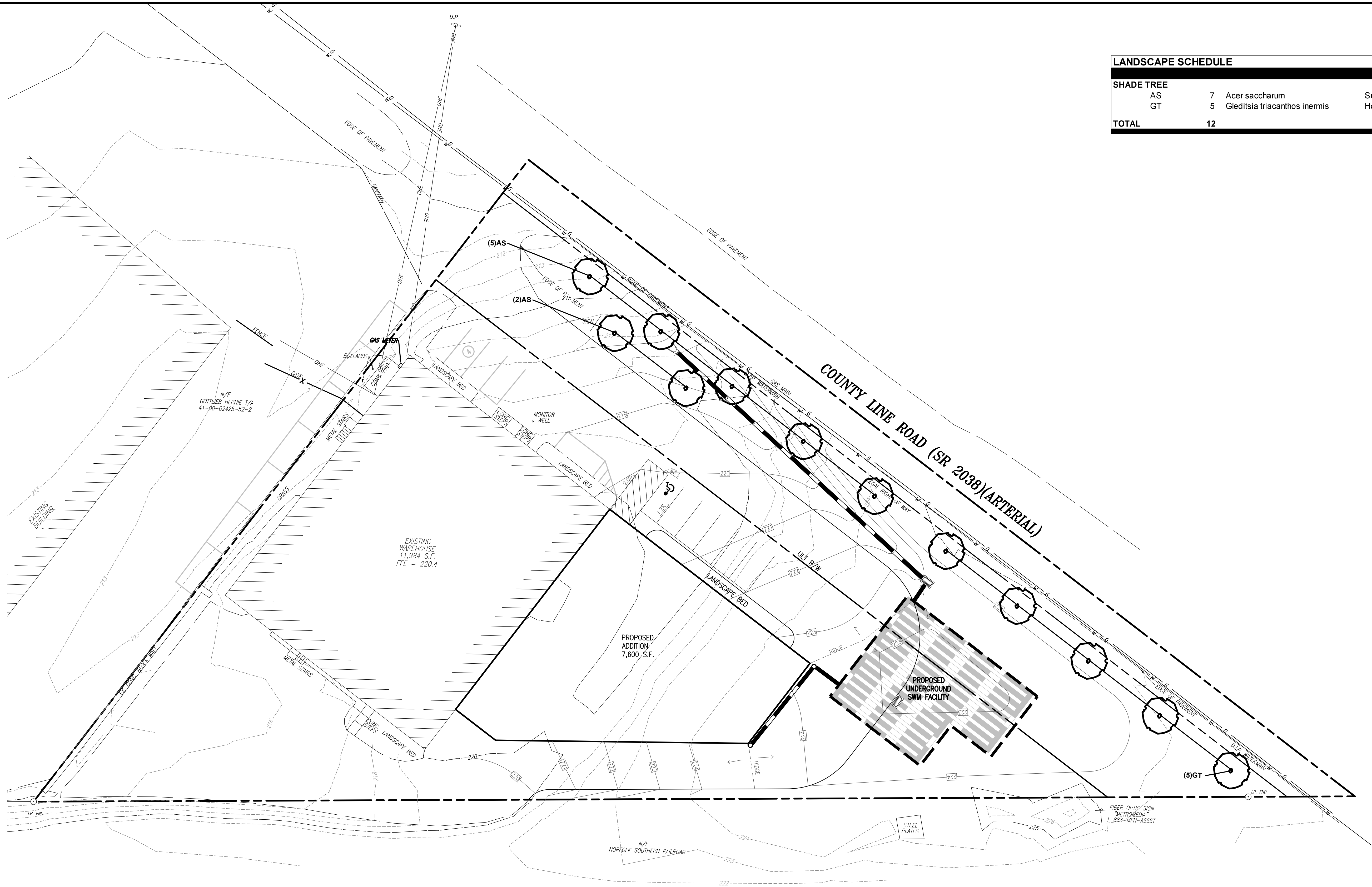
GRADING NOTES:

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
3. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
4. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1%.
5. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL EARTH SLOPES AT 3:1 OR GREATER.

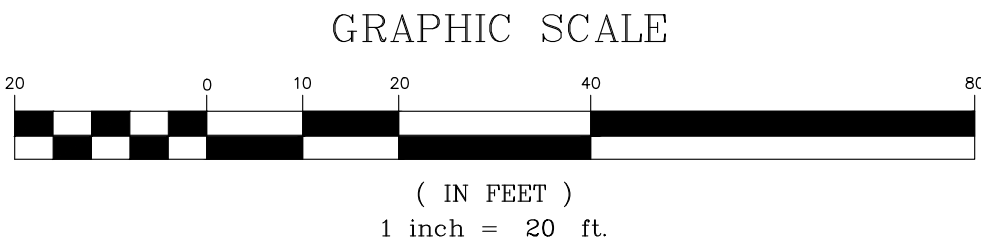
LEGEND	
	BOUNDARY LINE
	ADJ. BOUNDARY LINE
	SETBACK LINE
	EXISTING CONTOUR INTERVAL
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING WATER SERVICE
	EXISTING GAS MAIN
	EXISTING OVERHEAD ELECTRIC
	PROPOSED CONTOUR
	PROPOSED STORM SEWER
	EXISTING UTILITY POLE
	EXIST. WATER VALVE



LANDSCAPE SCHEDULE					
SHADE TREE					
AS	7	Acer saccharum	Sugar Maple	3"-3.5" cal.	B & B
GT	5	Gleditsia triacanthos inermis	Honeylocust	3"-3.5" cal.	B & B
TOTAL	12				



LEGEND	
	BOUNDARY LINE
	ADJ. BOUNDARY LINE
	SETBACK LINE
	EXISTING CONTOUR INTERVAL
	EXISTING CONTOUR INDEX
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING SANITARY LATERAL
	EXISTING WATER MAIN
	EXISTING WATER SERVICE
	EXISTING GAS MAIN
	EXISTING OVERHEAD ELECTRIC
	PROPOSED CONTOUR
	PROPOSED STORM SEWER
	EXISTING UTILITY POLE
	EXIST. WATER VALVE



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PENNSYLVANIA LAW REQUIRES 3 WORKING
DAYS NOTICE FOR CONSTRUCTION PHASE
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STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.

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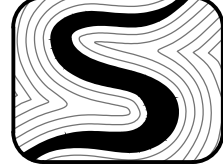
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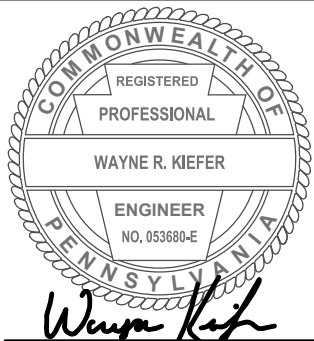
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DATE: 2/25/2021
JOB NO.: 2020-081
DRAWN BY: LAZ
CHECKED BY: WK

SITUATE: LOWER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA.
PREPARED FOR:
M&B ASSOCIATES
1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

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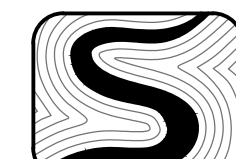
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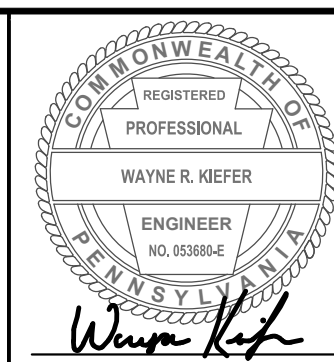
EROSION & SEDIMENT CONTROL PLAN

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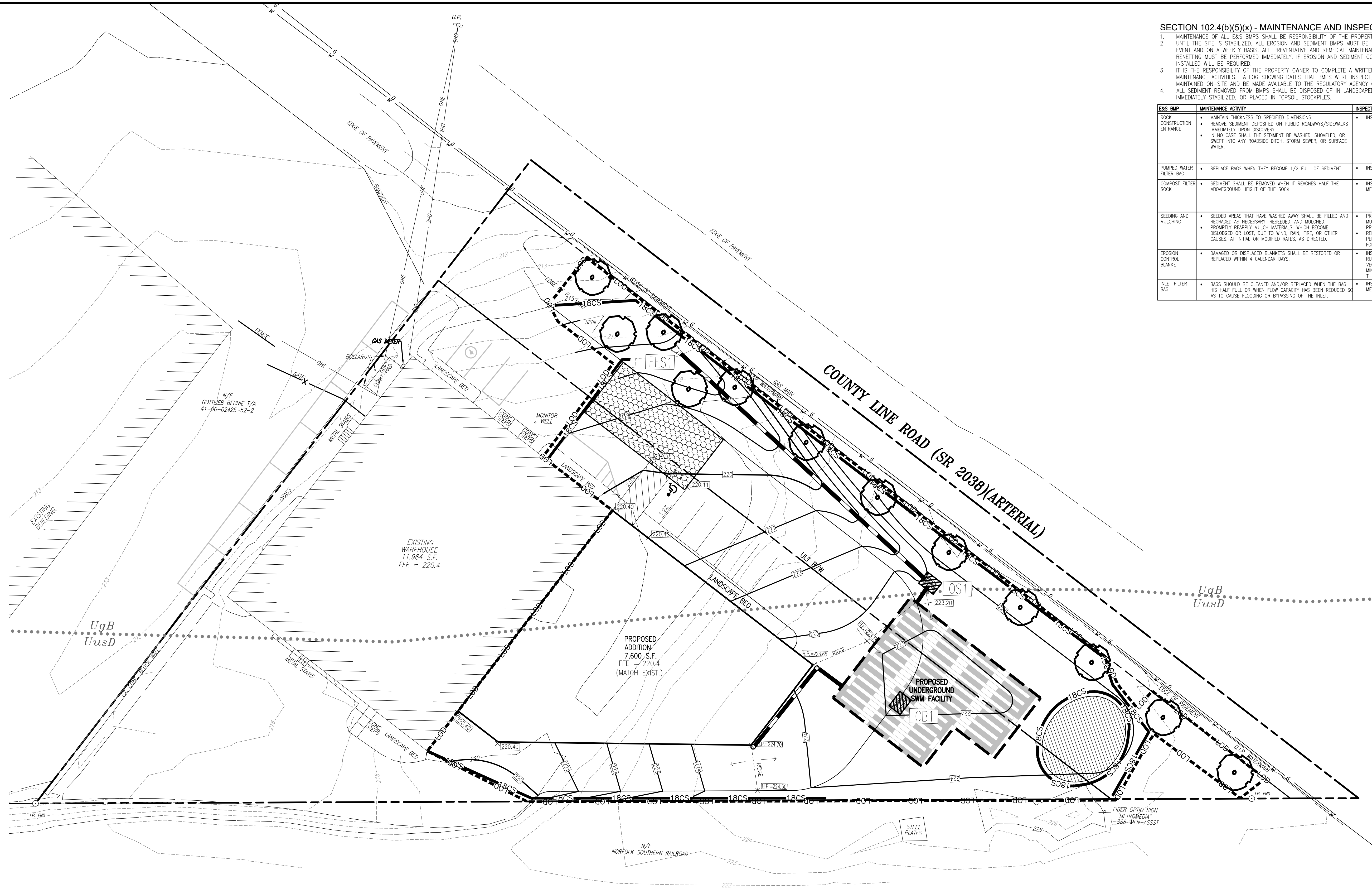
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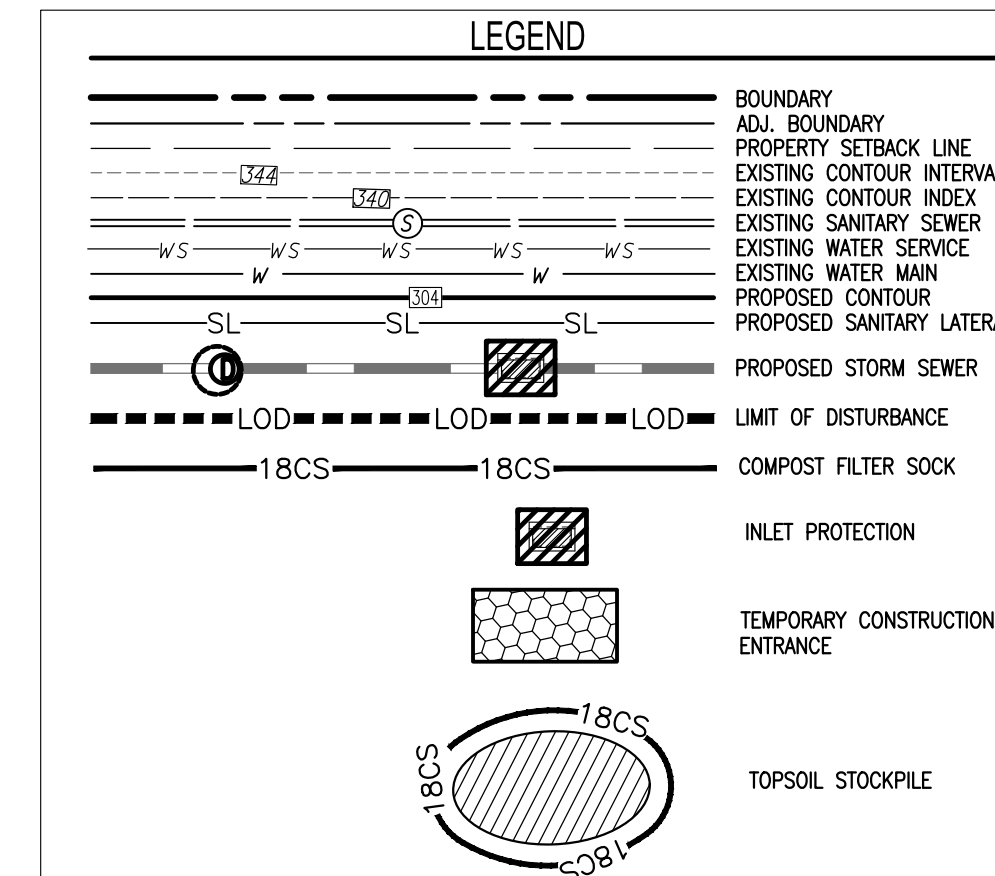
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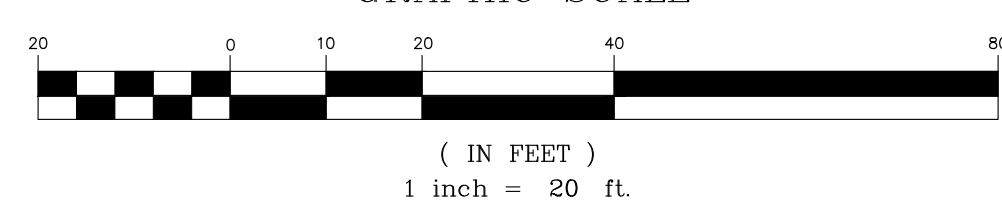
SECTION 102.4(b)(5)(x) - MAINTENANCE AND INSPECTION PROGRAM

1. MAINTENANCE OF ALL E&S BMPs SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.
2. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
3. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO COMPLETE A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR, OR REPLACEMENT AND MAINTENANCE ACTIVITIES. A LOG SHOWING DATES THAT BMPs WERE INSPECTED, AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED, SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
4. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOOD PLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

E&S BMP	MAINTENANCE ACTIVITY	INSPECTION SCHEDULE	ADDITIONAL SPECIFICATIONS
ROCK CONSTRUCTION ENTRANCE	<ul style="list-style-type: none">• MAINTAIN THICKNESS TO SPECIFIED DIMENSIONS• REMOVE SEDIMENT DEPOSITED ON PUBLIC ROADWAYS/SIDEWALKS IMMEDIATELY UPON DISCOVERY• IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.	• INSPECT DAILY	<ul style="list-style-type: none">• IN HAZARDOUS SITUATIONS WHEN MUD CAUSES SLICK CONDITIONS ON TRAVELED ROADWAYS, PRESSURE WASHING SHALL BE PERFORMED TO THE SATISFACTION OF THE TOWNSHIP. ALL SEDIMENT LAID WATER GENERATED BY PRESSURE WASHING SHALL BE COLLECTED AND FILTERED THROUGH AN ADEQUATE FILTER CONTROL, SUCH AS A WATER FILTER BAG, PRIOR TO DISCHARGE TO SEWER OR WATER COURSE.• REMOVAL OF MUD OR DEBRIS FROM THE HIGHWAY SHALL BE AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR AND/OR DEVELOPER.
PUMPED WATER FILTER BAG	• REPLACE BAGS WHEN THEY BECOME 1/2 FULL OF SEDIMENT	• INSPECT BAGS DAILY	• IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED
COMPOST FILTER SOCK	• SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK	• INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT	<ul style="list-style-type: none">• DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.• BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
SEEDING AND MULCHING	<ul style="list-style-type: none">• SEED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEDED, AND MULCHED.• PROMPTLY REAPPLY MULCH MATERIALS, WHICH BECOME DISLOOSED OR LOST DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES, AT INITIAL OR MODIFIED RATES, AS DIRECTED.	<ul style="list-style-type: none">• PROPERLY MAINTAIN SEEDING AND MULCHING UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED.• REFER TO TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS FOR ADDITIONAL DETAIL.	• REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS
EROSION CONTROL BLANKET	• DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.	• INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA.	• AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF SLOPE FAILURE OCCURS (ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE) REPLACE THE MULCH AS DIRECTED.
INLET FILTER BAG	• BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG HAS HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET.	• INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT	• DAMAGED FILTER BAGS SHOULD BE REPLACED.



GRAPHIC SCALE



M&B ASSOCIATES

1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

PA CODE CH. 102 E&S CONTROL NOTES

SECTION 102.2(a) - SCOPE AND PURPOSE

1. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PREPARED AND COMPLETELY IMPLEMENTED.
2. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO LOCAL COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
3. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
4. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LOCAL COUNTY CONSERVATION DISTRICT.
5. OFF-SITE WASTE AND BORROW: THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES AND REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFFSITE SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
6. ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
7. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL, RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
8. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE SITE AT ALL TIMES.
9. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

SECTION 102.5(e) - PRE-CONSTRUCTION MEETING

1. AN ONSITE PRE-CONSTRUCTION MEETING IS REQUIRED TO OCCUR NO LESS THAN 7 DAYS PRIOR TO ANY EARTH DISTURBANCE UNLESS OTHERWISE BY ZERO DEP OR THE LOCAL COUNTY CONSERVATION DISTRICT. PERMITTEES, CO-PERMITTEES, OPERATORS, ALL APPROPRIATE MUNICIPAL OFFICIALS, REPRESENTATIVES FROM THE LOCAL COUNTY CONSERVATION DISTRICT AND THE ZERO DEP, AND LICENSED PROFESSIONALS OR DESIGNEES RESPONSIBLE FOR THE EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF THE E&S AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN, SHALL ATTEND A PRE-CONSTRUCTION MEETING.

CLEAN FILL & ENVIRONMENTAL DUE DILIGENCE

1. IF FILL IS REQUIRED, THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. APPLICANTS AND/OR OPERATORS MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. DEFINITIONS OF CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE ARE PROVIDED BELOW. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEPTWES.STATE.PA.US. UNDER THE HEADING QUICK ACCESS ON THE LEFT SIDE OF THE SCREEN, CLICK ON "FORMS AND PUBLICATIONS." ON THE LEFT SIDE OF THE SCREEN CLICK ON "TECHNICAL GUIDANCE DOCUMENTS-FINAL." THEN TYPE THE DOCUMENT NUMBER 258-2182-773 INTO THE SEARCH WINDOW AND CONDUCT THE SEARCH. CLICK ON "MANAGEMENT OF FILL".
2. **CLEAN FILL** IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.) **CLEAN FILL** AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES PP-1A AND PP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM PP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM PP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
3. **ENVIRONMENTAL DUE DILIGENCE** IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATION UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

SECTION 102.4(b)(5)(xi) - RECYCLING OR DISPOSAL OF MATERIALS

1. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ., AND IN ACCORDANCE WITH ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS.
2. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, BURN, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
3. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND WASTE CONTROL. WHENEVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.
4. ANY OFFSITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT PRIOR TO EARTH DISTURBANCE ACTIVITIES. THE APPROVED E&S PLAN IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL/ROCK SPOIL AND BORROW AREAS ON OR OFFSITE.

CONSTRUCTION SEQUENCE & INSTALLATION NOTES FOR UTILITY LINE TRENCH EXCAVATION:

1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
5. PLACE TEMPORARY EROSION AND SEDIMENT CONTROL BMPs (SILT FENCE OR COMPOST SILT SOCKS AS INDICATED ON THE PLAN) DOWNSTREAM OF THE PROPOSED TRENCHING ACTIVITIES.
6. PLACE EXCAVATED MATERIALS ON THE UPSLOPE SIDE OF THE TRENCH.
7. INSTALL UTILITIES, BACKFILL TRENCH AND STABILIZE IMMEDIATELY.
8. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
9. REMOVE EROSION AND SEDIMENT CONTROL BMPs AFTER AREA IS STABILIZED. ANY AREAS DISTURBED DURING THE REMOVAL OF THE BMPs SHALL BE RESTABILIZED IMMEDIATELY.
10. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
12. SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

UTILITY LINE TRENCH EXCAVATION NOTES:

1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
 2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
 3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
 4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
 5. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
 6. CALL BEFORE YOU DIG! IMMEDIATELY STABILIZED.
 7. SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED TO THE SURFACE LAYER FOLLOWING TRENCH BACKFILLING.
- PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL**
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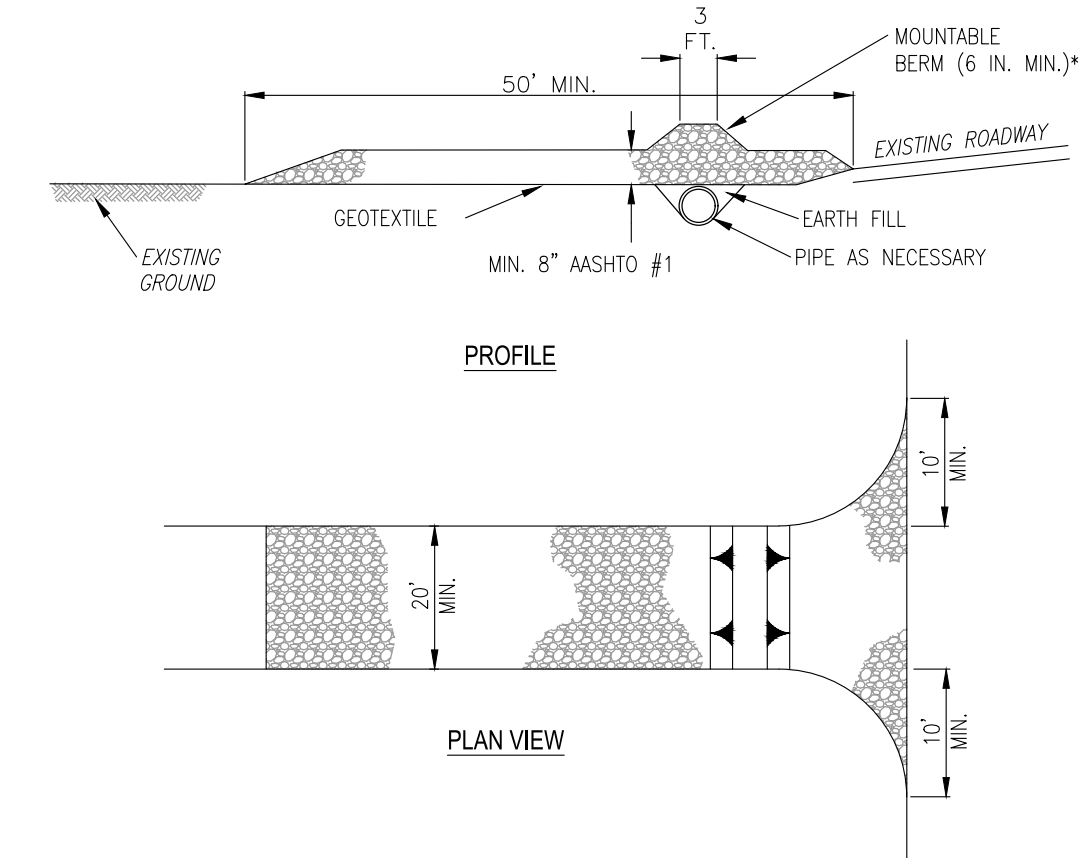
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SECTION 102.4(b)(5)(vii) - CONSTRUCTION SEQUENCE

1. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.
2. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED.

THE PROPOSED IMPROVEMENTS CONTAINED HEREIN SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE:

1. THE CONTRACTOR SHALL NOTIFY MONTGOMERY COUNTY CONSERVATION DISTRICT AT LEAST 3 DAYS BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY TOWNSHIP AND TOWNSHIP ENGINEER A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
2. STAKE OUT LIMITS OF DISTURBANCE.
3. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE.
4. INSTALL COMPOST SOCKS WHERE INDICATED ON PLAN.
5. PERFORM SITE CLEARING WORK WITHIN LIMITS OF DISTURBANCE.
6. STRIP AVAILABLE TOPSOIL WITHIN THE LIMITS OF DISTURBANCE. AN 18-INCH COMPOST SILT SOCK SHALL ENCIRCLE THE TOPSOIL STOCKPILES. SEED, FERTILIZE, AND MULCH THE TOPSOIL STOCKPILES.
7. ROUGH GRADE SITE WITHIN THE LIMITS OF DISTURBANCE.
8. BEGIN INSTALLATION OF UNDERGROUND UTILITIES, BACKFILL/COMPACT IN ACCORDANCE WITH CONSTRUCTION DETAILS.
9. CONSTRUCT UNDERGROUND STORMWATER FACILITY. CONTROLS MUST BE IN PLACE TO ASSURE SEDIMENT DOES NOT ENTER UNDERGROUND FACILITY.
10. INSTALL STORM SEWER SYSTEM WITH INLET PROTECTION.
11. FINE GRADE AND COMPACT SUBGRADE IN PAVED AREAS. INSTALL BASE COURSE.
12. ACCESS MUST BE PROVIDED TO THE REAR OF THE EXISTING BUILDING PRIOR TO REMOVING EXISTING PAVEMENT.
13. BEGIN CONSTRUCTION OF THE BUILDING ADDITION.
14. INSTALL ALL OTHER PUBLIC IMPROVEMENTS.
15. FINISH CONSTRUCTION OF BUILDING ADDITION.
16. INSTALL PROPOSED PARKING AND RESTORE LAWN AND STABILIZE.
17. INSTALL FINAL WEARING COURSE.
18. ONCE THE ENTIRE SITE HAS REACHED 70% UNIFORM STABILIZATION AND THE MONTGOMERY COUNTY CONSERVATION DISTRICT APPROVES, REMOVE THE REMAINING EROSION CONTROL DEVICES. ANY AREAS DISTURBED DURING REMOVAL OF REMAINING EROSION CONTROL DEVICES SHALL BE STABILIZED IMMEDIATELY.



NOTES:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1

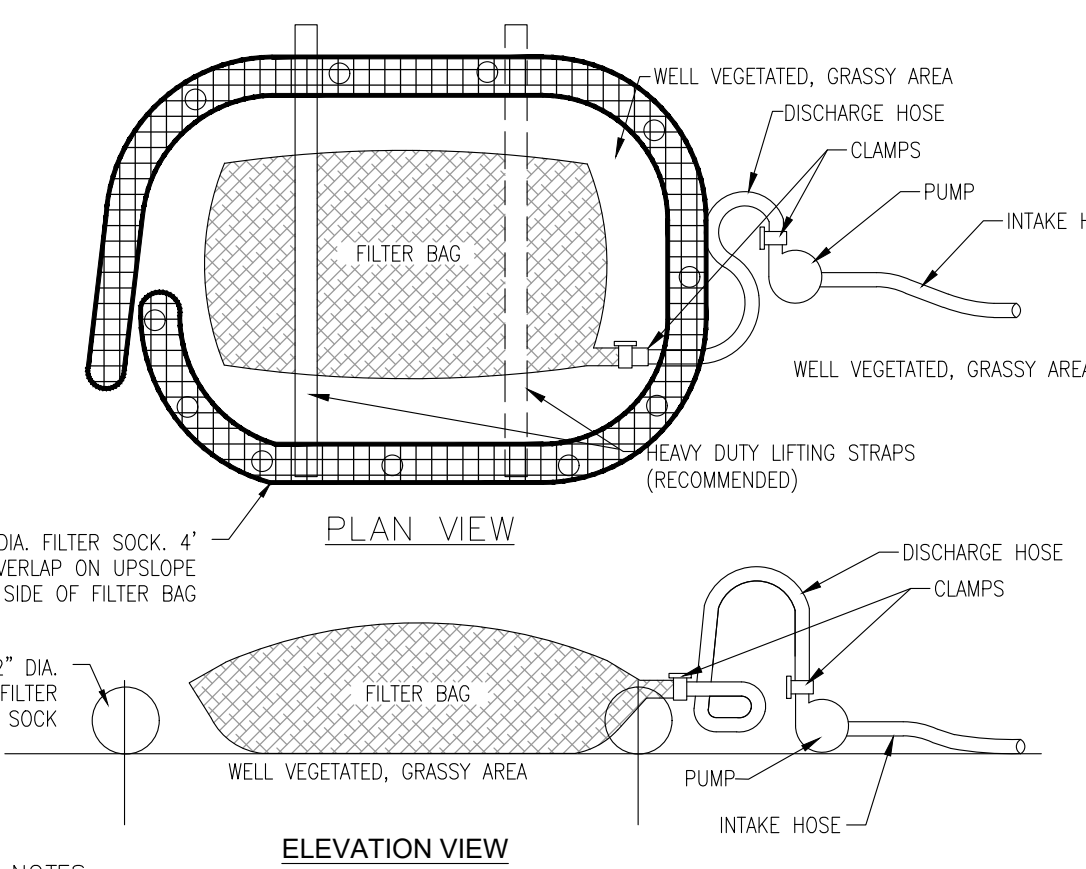
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

STANDARD CONSTRUCTION DETAIL #9-1

RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB./IN.
GRAB TENSILE	ASTM D-4632	205 LB.
PUNCTURE	ASTM D-4833	110 LB.
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.

SECTION 102.22(b) - TEMPORARY SITE STABILIZATION

1. E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS.
2. ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDED WITH PERMANENT SEED MIX AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE: A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE: LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10-20-20: A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE: FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.) IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING: LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.) FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.) APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE: LIME = 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.) FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - (3) PERMANENT SEED MIXTURE: IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102:
 - (A) ANNUAL RYEGRASS IS TO BE SEEDED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP. SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (B) TURF LAWN AND MOWED AREAS (SUNNY): 60% KENTUCKY BLUEGRASS 20% CHEWINGS FESCUE 20% PERENNIAL RYEGRASS SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.) PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15
 - (C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%) EXAMPLE: TO DETERMINE HOW MUCH SEED TO HOW MUCH SEED TO CALCULATE PLS: FOR 85% PURE SEED WITH 72% GERMINATION: 85 x 72 / 100 = 61% PLS DIVIDE THE PLSX INTO ONE HUNDRED (100): 100 / 61 = 1.63. THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.
 - (4) MULCH: ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION WITH POLYMERIC OR CLAY TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. MULCH ON SLOPES OF 8% OR GREATER SHOULD BE HELD IN PLACE WITH NETTING OR EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE: STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)
 - (5) EROSION CONTROL BLANKET: ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HO OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED

WATER FILTER BAG

NOT TO SCALE

(FILTER BAG SHALL BE SURROUNDED BY COMPOST SOCK AND OPERATED IN CONJUNCTION WITH A SUMP PIT. SEE DETAIL #3-17)

EROS WHOLESALE

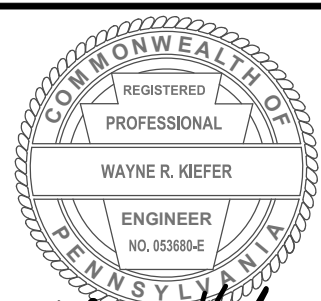
EROSION & SEDIMENT CONTROL NOTES & DETAILS

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CHECKED BY: WK

SITUATE: LOWER MORELAND TOWNSHIP MONTGOMERY COUNTY, PA.
PREPARED FOR: M&B ASSOCIATES
1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

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7 of 10

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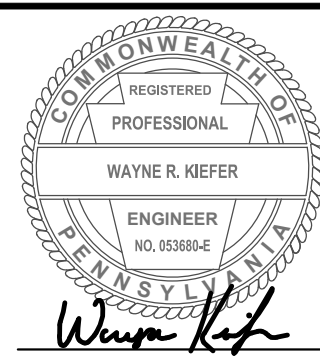
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EROS WHOLESALE

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

R. L. Showalter & Associates, Inc.

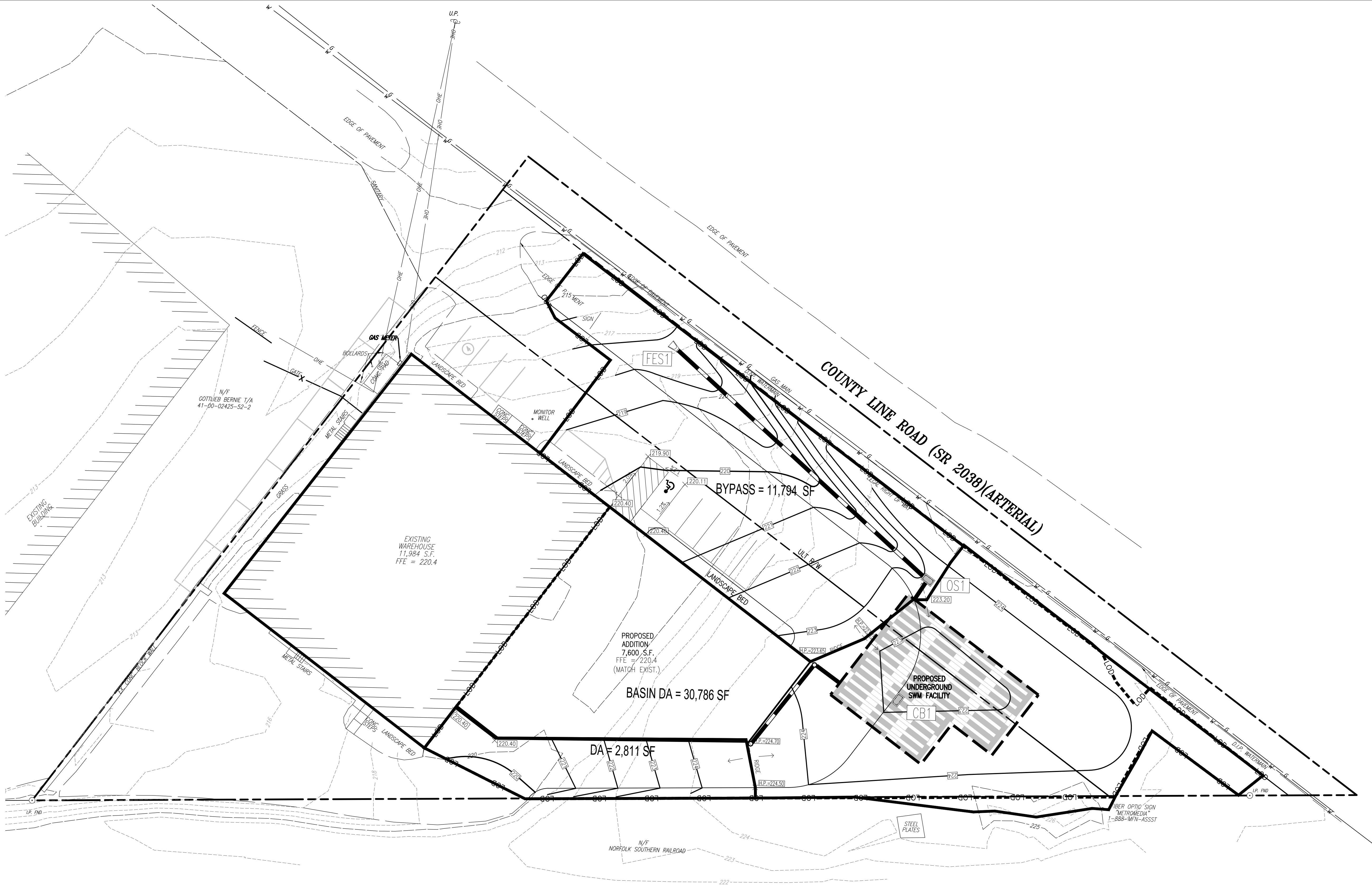
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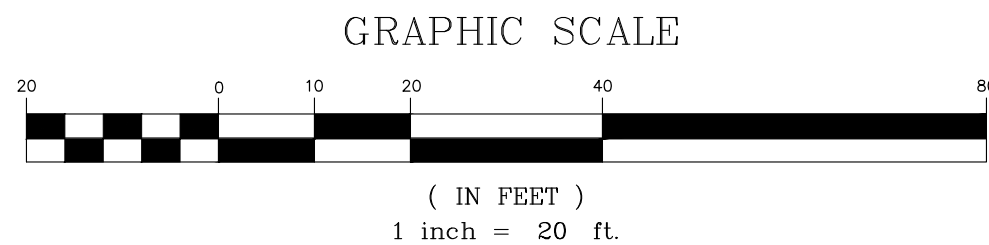
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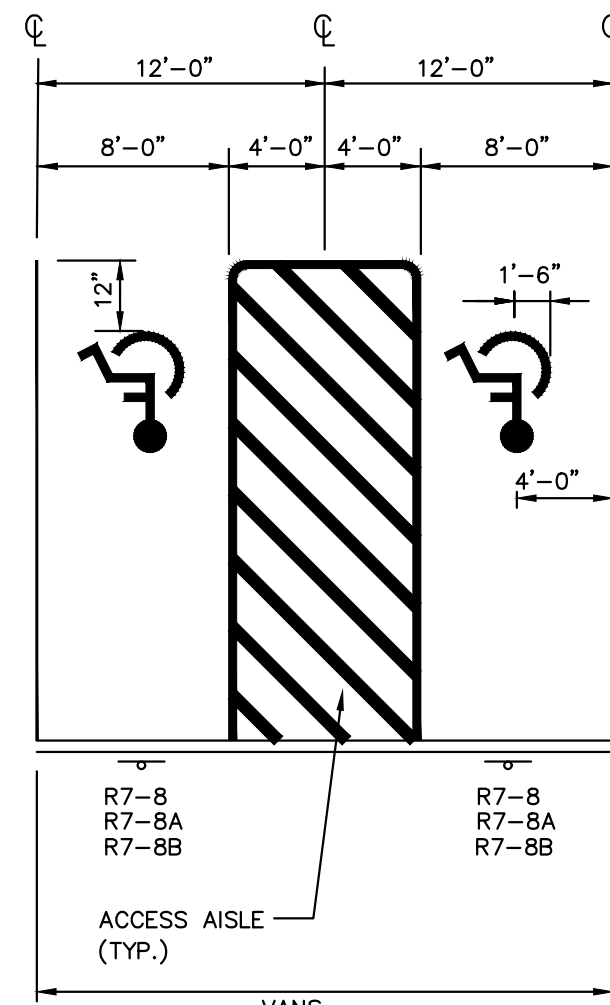


OWNER APPLICANT
M&B ASSOCIATES
1430 COUNTY LINE RD.
HUNTINGDON VALLEY, PA. 19006

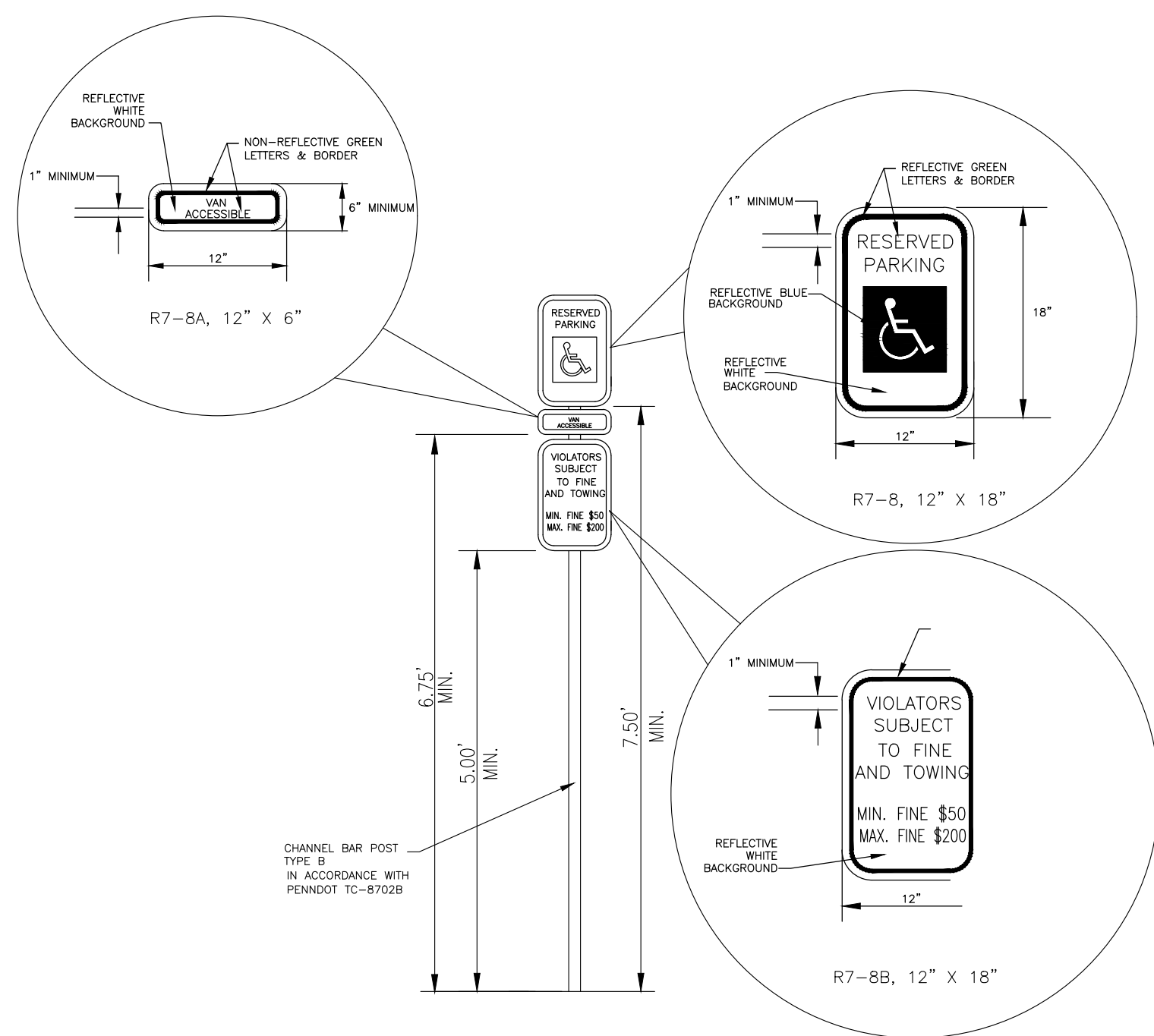
STORMWATER MANAGEMENT MAINTENANCE ACKNOWLEDGEMENT:
THE DETENTION BASINS (AS SHOWN ON THE PLAN) ARE PERMANENT FACILITIES AND SHALL NOT BE MODIFIED OR REMOVED UNLESS PRIOR APPROVAL IS GRANTED BY LOWER MORELAND TOWNSHIP. THE INDIVIDUAL LOT OWNER OR OWNERS AND/OR HOA, HIS/THEIR SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL GRADES AND ELEVATIONS OF SUCH FACILITIES, AND SHALL DO NOTHING TO ALTER OR DAMAGE SAME OR OTHER BASIN STRUCTURES AND DEVICES. THESE RESPONSIBILITIES SHALL INCLUDE ROUTINE LAWN CARE, REMOVAL OF ORDINARY INNOCUOUS DEBRIS THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BASINS, AND MAINTENANCE OF THE STRUCTURAL INTEGRITY AND REPAIR OF ALL OUTLET PIPES, WALL STRUCTURES, AND OTHER PERMANENT STRUCTURAL DEVICES. LOWER MORELAND TOWNSHIP SHALL HAVE PERPETUAL EASEMENTS ON AND OVER THE AREAS OF THE DETENTION BASINS FOR THE PURPOSE OF EMERGENCY MAINTENANCE AND REPAIR OF SAID PERMANENT FACILITIES. THE AFORESAID RESPONSIBILITIES OF THE INDIVIDUAL LOT OWNERS SHALL BE SUBJECT TO ENFORCEMENT BY LOWER MORELAND TOWNSHIP. IN THE EVENT THAT THE OWNER FAILS TO HONOR THE RESPONSIBILITY SET FORTH HEREIN, IN ANY MANNER, LOWER MORELAND TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY UPON AND WITHIN THE AREA OF THE BASINS TO UNDERTAKE SUCH CORRECTIVE OR MAINTENANCE EFFORTS. THE COST OF SUCH, AS WELL AS ADMINISTRATIVE, ENGINEERING, AND LEGAL COSTS FOR ENFORCEMENT, MAY BE IMPOSED UPON THE RESPONSIBLE LOT OWNERS, AS DETERMINED AND ASSESSED BY LOWER MORELAND TOWNSHIP. FAILURE TO REMEDY ALL ASSOCIATED COSTS DESCRIBED, MAY BE SUBJECT OF THE IMPOSITION OF A LIEN BY THE TOWNSHIP AGAINST THE LOT OR LOTS IN QUESTION, IN THE SAME MANNER AS THE TOWNSHIP MIGHT OTHERWISE BE EMPOWERED BY LAW TO ASSESS OR OPPOSE A LIEN AGAINST A PROPERTY FOR MUNICIPAL IMPROVEMENTS.

LEGEND
- - - - - LOD
- - - - - LIMIT OF DISTURBANCE
- - - - - POST-DEVELOPMENT D.A. BOUNDARY

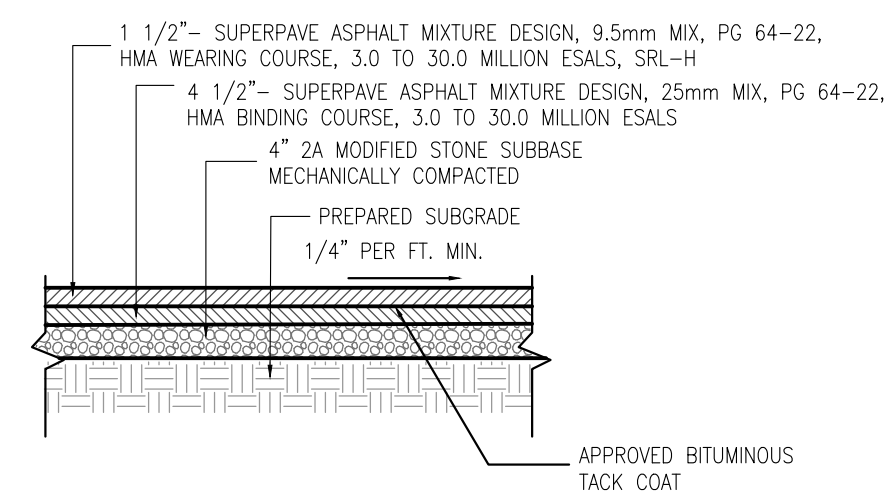




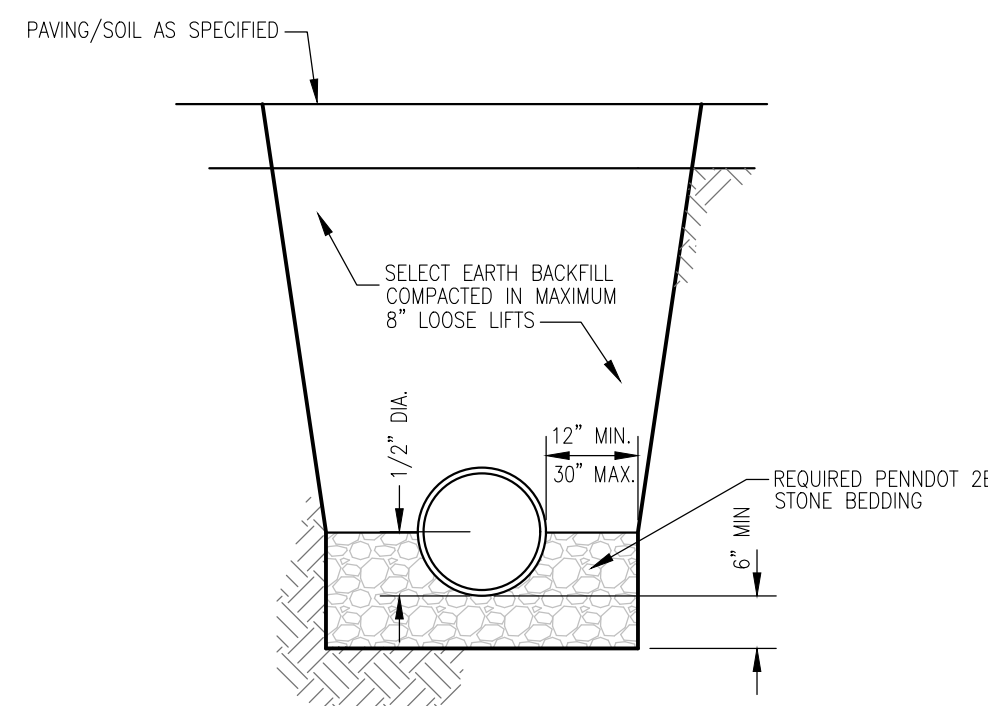
TYP. HANDICAPPED ACCESSIBLE STALLS
N.T.S.



TYP. HANDICAP ACCESSIBLE SIGN PLACEMENT
N.T.S.



TYPICAL PAVING SECTION
N.T.S.



STORM SEWER OR UTILITY PIPE BEDDING DETAIL
N.T.S.

NOTES:

SET PLANTS PLUMB, AND FACE TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT AREAS.

PRUNE AS DIRECTED. NEVER CUT LEADER.

SET TO OF ROOT BALL ABOVE ADJACENT FINISHED GRADE AT A HEIGHT OF 15-20% OF ROOT BALL.

STAKE TREES OVER 2" CALIPER SET STAKES VERTICAL AND AT SAME HEIGHT.

DO NOT USE TREE WRAP. DO NOT USE TOPSOIL SAUCER.

STAKES TO BE SET 2/3 UP TREE OR ABOVE FIRST BRANCHES.

3/4" O.D. REINFORCED RUBBER GARDEN HOSE.

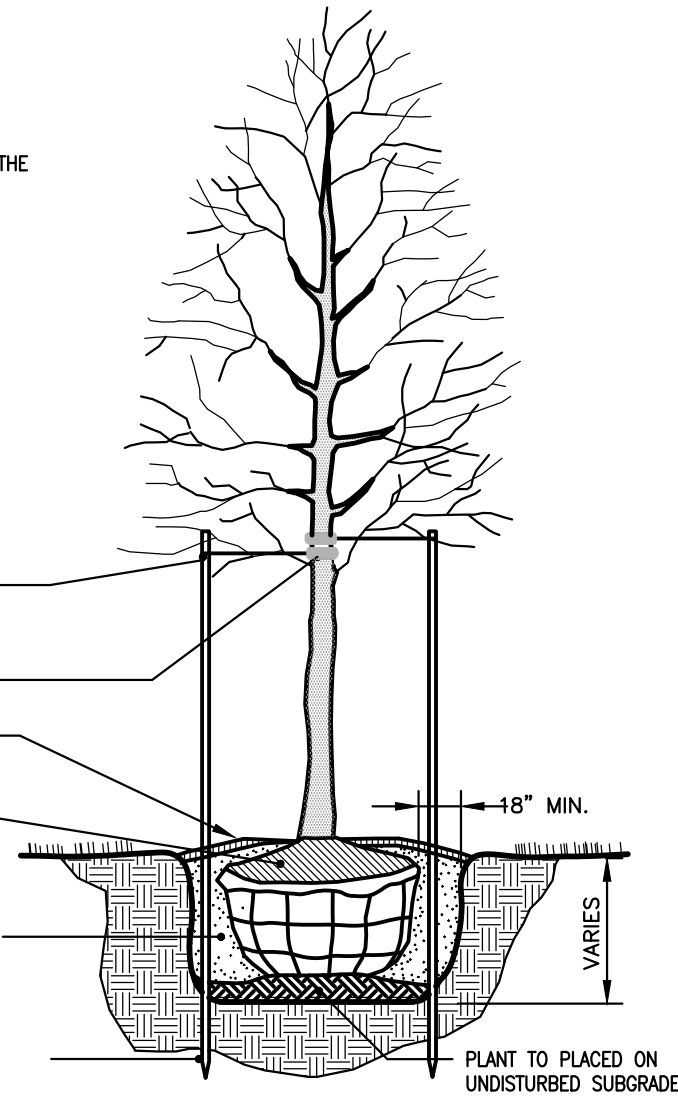
2" MULCH. MULCH MUST NOT CONTACT THE TRUNK AT ANY POINT.

CUT AWAY ALL BURLAP (NATURAL) FROM TOP 1/3 OF ROOT BALL.

IN CASE OF SYNTHETIC BURLAP, COMPLETELY REMOVE BURLAP FROM ROOT BALL. REMOVE TOP 18" OF WIRE BASKET.

SPECIFIED PLANT MAX. 1/3 PEAT MOSS TO 2/3 TOPSOIL - LIGHTLY TAMPED.

3 STAKES @ 120" STAKES TO EXTEND 18" BELOW TREE FIT IN UNDISTURBED GROUND.



DECIDUOUS TREE PLANTING
N.T.S.

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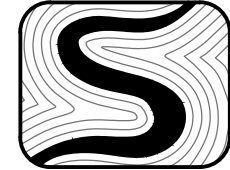
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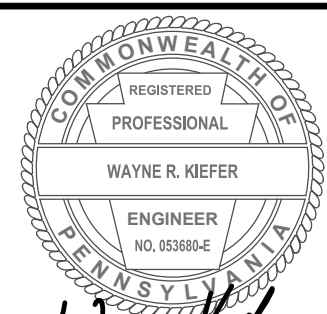
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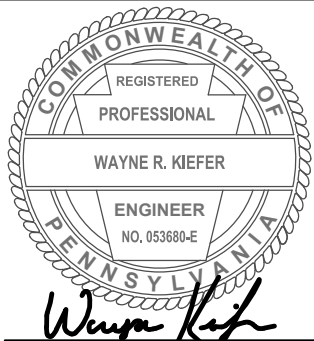
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